

# DEVELOPMENT REVIEW BOARD REPORT



MEETING DATE: September 21, 2006

ITEM NO. \_\_\_\_\_

CASE NUMBER/ PROJECT NAME	<b>14-DR-2006</b> <b>64<sup>th</sup> Street Reservoir Security Improvements</b>		
LOCATION	6307 E. Thomas Road		
REQUEST	Request approval of a site plan, landscape plan and wall elevations for City of Phoenix, Water Services Department security improvements for the 64 <sup>th</sup> Street Reservoir.		
OWNER	City of Phoenix 602-534-6883	ENGINEER	Stantec Consulting 602-938-2200
ARCHITECT/ DESIGNER	N/A	APPLICANT/ COORDINATOR	Tricia Cook Stantec Consulting 602-938-2200

**BACKGROUND**      **Zoning.**

The site is zoned Single-Family Residential District (R1-10). This district provides for single-family homes, municipal uses, recreational uses, religious and educational facilities as the basic elements of a balanced neighborhood.

**Context.**

The site is owned by the City of Phoenix and used for utilities consisting of water storage reservoirs, a booster pump station and a disinfection facility located south of East Thomas Road, between North 62<sup>nd</sup> Street and North 64<sup>th</sup> Street.

**Adjacent Uses:**

- North: Office Complex, zoned S-R.
- South: Single-family, zoned R1-10.
- East: Office Complex, zoned C-1 and Single-family, Zoned R1-7.
- West: Single-family, zoned R1-10 and Townhomes, zoned R-4.

**APPLICANT'S PROPOSAL**      **Applicant's Request.**

This request is for the approval of a revised site plan, landscape plan and wall elevations for the existing City of Phoenix water storage reservoirs, a booster pump station and a disinfection facility.

**Development Information:**

- Proposed Use: Water storage reservoirs, a booster pump station and a disinfection facility
- Parcel Size: Approximately 36.50 acres

- Building Height Allowed: 30 feet
- Building Height Proposed: 8 feet for the fence

## DISCUSSION

This request is to upgrade the existing facility for the purpose of increasing the security to protect the City of Phoenix's water system. The proposed upgrading includes construction of new perimeter fences and walls adjacent to East Thomas Road, North 62<sup>nd</sup> Street and the south property line. The proposed upgrades will also include an intrusion detection system, and landscaping.

At the July 13, 2006 Development Review Board meeting, the Board approved the applicant's request for a continuance of this application. Prior to the motion to approve the request for a continuance, Vice Chairman Jones did suggest that, "...along Thomas Road there may be an opportunity to have the existing barrier that is in the middle of the block turned into the recess between the two tanks, which may add some variety. This could create a landscape area or some visual relief along Thomas Road." The applicant has not responded to this comment.

The proposed design of the 8-foot high masonry block wall adjacent to Thomas Road will be consistent with the existing wall adjacent to North 64<sup>th</sup> Street. The proposal also includes an 8-foot high green vinyl coated chain link fence adjacent to the south property line; this fence will be setback approximately 140 feet from the south property line. The applicant has proposed two options adjacent to North 62<sup>nd</sup> Street. The first option (Option #1) is to install the new 8-foot high green vinyl coated fence behind the existing oleander hedge, and the second option (Option #2) is to install a new 8-foot high masonry block wall consistent with the existing North 64<sup>th</sup> Street wall, which will require the removal of the oleander hedge. The proposed landscaping for both options is the same and consists of drought-tolerant trees, shrubs and ground cover.

The applicant and City Staff, including Councilman Littlefield, have completed an extensive neighborhood outreach program with the residents of the Papago Buttes subdivision to the south, and the residents of the Sherwood Heights/Fairway Park/Heritage East Neighborhood Association (SFHNA) to the west of North 62<sup>nd</sup> Street. The property owners within 750 feet of the development east of North 64<sup>th</sup> Street have been notified via the City's postcard notification process. Staff has not received any comments from the property owners to the east of North 64<sup>th</sup> Street.

The president of the Papago Buttes Homeowners Association and the president of the SFHNA have reached an agreement to support Option #1 since the existing oleander hedge is the most effective method of screening the storage reservoirs, the booster pump station and the disinfection facility. As part of this agreement (Attachment 14) between the president of the Papago Buttes Homeowners Association and the president of the SFHNA Neighborhood Association additional requests were made and included as part of the proposed improvements. In addition to the requests of Attachment 14, the neighborhood has asked to modify the stipulations that were provided to the Development Review Board at the July 13, 2006 hearing (Attachments 15 and 16).

A summary of these requests are listed below:

- Maintain the oleanders hedge adjacent to North 62<sup>nd</sup> Street.
- Provide a maintenance program for the landscaping adjacent to North

62<sup>nd</sup> Street.

- Any plant material that are not oleanders and are growing out of the oleander hedge adjacent to North 62<sup>nd</sup> Street shall be removed.
- The oleanders shall be allowed to grow and fill in from the ground up.
- Plant oleanders on the outside of the vehicular gate located at the southwest corner of the site.
- Provide a 4-foot meandering sidewalk, and provide park benches to the east side of North 62<sup>nd</sup> Street.
- Increase the proposed tree density adjacent to North 62<sup>nd</sup> Street and the south property line.
- Increase the variety of plant species.
- The decomposed granite utilized for the ground cover to be installed east of North 62<sup>nd</sup> Street shall match the decomposed granite that exists adjacent to the Papago Buttes' North 62<sup>nd</sup> Street subdivision vehicular entrance.
- Landscaping shall be provided between the curb and the sidewalk, and the oleander hedge and the sidewalk.
- Provide wrought iron fencing adjacent to the south property line in place of the proposed 8-foot vinyl chain link.
- Eliminate the proposal of the barbed wire.
- Grade the area adjacent to the proposed fence to minimize the visual impact of the proposed fence.
- Paint the interior of the North 64<sup>th</sup> Street wall the same color as the exterior.
- The City of Phoenix is to implement a dust control program for the reservoir site.
- The trees adjacent to the south property line and tanks #3 and #4 shall not exceed a height of 25 feet.
- Delay the removal of the landscaping that is necessary to be removed to install fence adjacent to the south property line until the proposed landscaping has matured sufficiently to screen the tanks.
- The Papago Buttes Homeowners and SFHNA homeowner are to be consulted regarding the placement of the plants, sidewalk and bench design.
- Modified Stipulation #7 to state: "The new vehicular gate for the North 62<sup>nd</sup> Street driveway access, across from East Edgemont Street shall be opaque, sealed natural wood."
- Modified Stipulation #9 to state: "The new interior chain link fence on the west side of the facility, east of the oleanders, shall be green vinyl coated."
- Add a stipulation that states: "The fence along the southern boundary of the facility shall be black wrought iron, and the access gate between tanks #3 and #4, as depicted on the site plan, shall be black wrought iron."
- Modified Stipulation #20: The oleander hedge shall remain in place, shall be maintained and adequately irrigated by the City of Phoenix, and shall not be disturbed by the proposed improvements. Should any oleander plants die, they shall be removed and replaced with the same variety. The replacement plant shall be the maximum size that can be planted.

- Add a stipulation that states: “The City of Phoenix shall maintain all interior landscape in the facility, in addition to the oleanders on the west side of the facility.”
- Add a stipulation that states: “The City of Phoenix shall retain as open space along the southern property line the area south of the new proposed fence and north of the Papago Buttes wall. Within this open space no permanent or temporary structures will be erected.”
- Add a stipulation that states: “Remove the southern gate on N. 62nd Street, replacing the length of that gate with a wall that is of the height, color and material of the north/south wall on the west side of Papago Buttes. The wall shall extend north from the Papago Buttes wall on N. 62nd Street, replacing the southern gate, and shall adjoin the oleander hedge to the north. The asphalt driveway west of the southern gate shall be removed, and the sidewalk on the east side of N. 62nd Street shall be extended to adjoin the sidewalk west of Papago Buttes. Landscaping west of the wall shall continue the landscaping pattern west of the oleander hedge.”

With the exception of the timing of the improvement adjacent to the south property line, Staff is supportive of these requests and has included them in the stipulations. With regards to the timing of the improvement adjacent to the south property line, staff is not supportive of this request since the growth patterns of the landscaping is unpredictable, and securing the facility is critical to the City of Phoenix in order to meet their Homeland Security requirements. To mitigate the appearance of the fence, staff has stipulated a lower grade adjacent to the fence and to increase the landscaping south of the fence.

The applicant has expressed opposition over stipulations 5, 9, 13, and 31. Attachment 18 is a summary of these concerns.

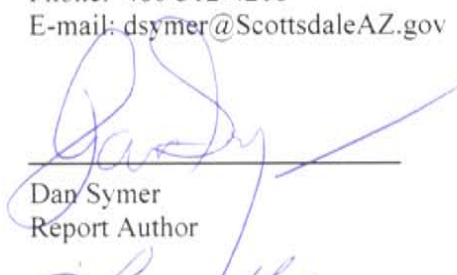
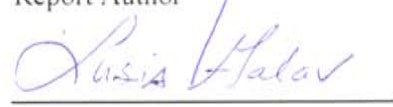
STAFF  
RECOMMENDATION

Staff recommends approval, subject to the attached stipulations.

**STAFF CONTACT(S)**

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Senior Planner  
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**APPROVED BY**

  
\_\_\_\_\_  
Dan Symer  
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\_\_\_\_\_  
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**ATTACHMENTS**

- A. Stipulations/Zoning Ordinance Requirements
- B. Fire Ordinance Requirements
  - 1. Applicant's Narrative
  - 2. Context Aerial
  - 2A. Aerial Close-Up
  - 3. Zoning Map
  - 4. Context Aerial with Site Plan
  - 5. Site Plan
  - 6. Landscape Plan
  - 7. Thomas Road Wall Elevation
  - 8. Fence, Wall, and Gate Details
  - 9. 62<sup>nd</sup> Street Option 1 Elevation
  - 10. 62<sup>nd</sup> Street Option 1 Site Plan
  - 11. 62<sup>nd</sup> Street Option 2 Elevation
  - 12. 62<sup>nd</sup> Street Option 2 Site Plan
  - 13. Material Board
  - 14. Neighborhood Agreement
  - 15. July 12, 2006 Neighborhood Stipulation Modification Request
  - 16. August, 2006 Neighborhood Stipulation Modification Request
  - 17. August 18, 2006 Neighborhood Stipulation Modification Request
  - 18. Minutes of July 13, 2006 Development Review Board Meeting regarding Case 14-DR-2006.
  - 19. Applicant's Opposition to Stipulations

# **Stipulations for Case: 64th Street Reservoir -Security Improvements 14-DR-2006**

Unless otherwise stated, the applicant agrees to complete all requirements prior to final plan approval, to the satisfaction of Project Coordinator and the Final Plans staff.

## **PLANNING**

### **APPLICABLE DOCUMENTS AND PLANS:**

#### **DRB Stipulations**

Except as required by the City Code of Ordinances, Zoning Regulations, Subdivision Regulations, and the other stipulations herein, the site design and construction shall substantially conform to the following documents:

1. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevations submitted by Stantec Consulting with a date provided on the plans by City Staff of 6/20/2006.
2. The location and configuration of all site improvements shall be constructed to be consistent with the site plan submitted by Stantec Consulting with a date provided on the plans by City Staff of 6/20/2006.
3. Landscaping, including quantity, size, and location of materials shall be installed to be consistent with the conceptual landscape plan submitted by Stantec Consulting with a date provided on the plans by City Staff of 6/20/2006.

### **ARCHITECTURAL DESIGN:**

#### **DRB Stipulations**

4. Dooley wall fencing shall not be allowed.
5. *Barbed wire, razor wire, razor ribbon, concertina wire, or similar shall not be utilized on the site.*
6. *The new vehicular gate for the North 62nd Street driveway access, across from East Edgemont Street shall be opaque, and the proposed wood sealed with a clear wood sealer.*
7. *The new and existing site walls shall be painted on the inside to match the exterior base color.*
8. *The new interior chain link fence on the west side of the facility, east of the oleanders, shall be green vinyl coated.*
9. *The fence along the southern boundary of the facility shall be black wrought iron, and the access gate between tanks 3 and 4, as depicted on the site plan, shall be black wrought iron.*
10. *The wall adjacent to Thomas Road shall be located in the stipulated roadway easement, and the location shall comply with the proposed site plan.*

### **SITE DESIGN:**

#### **DRB Stipulations**

11. *The sidewalk adjacent to North 62nd Street shall be a meandering sidewalk to the satisfaction of the Planning and Development Services General Manager or Designee.*
12. *The sidewalk adjacent to North 62nd Street shall be a minimum of 5 feet in width.*

## **ATTACHMENT A**

13. *The applicant shall provide three concrete benches evenly spaced between Edgemont Avenue and Wilshire Drive and separated from the sidewalk. The benches shall be angled toward Camelback Mountain, and shall be placed on concrete pads that connect to the sidewalk. The pads shall be large enough to accommodate wheelchair movement and sufficient room to include a wheelchair rest area adjacent to the bench. The bench, pad and locations design shall be subject to the approval of the Planning and Development Services General Manager or Designee.*
14. *The existing fence adjacent to North 62nd Street is to remain in place.*
15. *The new fence adjacent to North 62nd Street shall be located on the east side of the hedge.*
16. *The existing wall located at the Northeast corner of the site, at the intersection of 64<sup>th</sup> Street and Thomas Road, shall be relocated to comply with the Sight Visibility Triangles, figures 5.3-26 and 5.3-2 of the DS&PM, to the satisfaction of the Transportation Department.*
17. *The proposed wall located adjacent to Thomas Road shall not interfere with the Sight Visibility Triangles, figures 5.3-26 and 5.3-27 of the DS&PM, at the intersection of Thomas Road and North 62nd Street to the satisfaction of the Transportation Department.*
18. *The applicant shall retain the area between the proposed fence adjacent to the south property line and the south property line as landscaped open space. Within this landscaped open space and no permanent or temporary structures shall be erected without a subsequent Development Review Board approval.*
19. *Remove the southern gate on 62nd Street, replacing the length of that gate with a wall that is of the same height, color and material of the north/south wall on the west side of Papago Buttes. The wall shall extend north from the Papago Buttes wall on 62nd Street, replacing the southern gate, and shall adjoin the oleander hedge to the north. The asphalt driveway west of the southern gate shall be removed, and the sidewalk on the east side of 62nd Street shall be extended to adjoin the sidewalk west of Papago Buttes.*

#### **LANDSCAPE DESIGN:**

##### **DRB Stipulations**

20. *The oleander hedge shall remain in place, shall be maintained and adequately irrigated by the owner, and shall not be disturbed by the proposed improvements. Should any oleander plants die, they shall be removed and replaced with the same variety. The replacement plant shall be the maximum size that can be planted, as approved by the Planning and Development Services General Manager or Designee.*
21. *Upon removal of the salvageable native plants the salvage contractor shall submit completed Native Plant Tracking Form as well as a list identifying the tag numbers of the plants surviving salvage operations to the City's Inspection Services Unit within 3 months from the beginning of salvage operations and/or prior to the issuance of the Certificate of Occupancy.*
22. *Landscaping is to be provided in all locations where the sidewalk meanders to the satisfaction of the Planning and Development Services General Manager or Designee.*
23. *The Palo Brea trees along North 62nd Street shall be provide every 25 feet, and shall be staggered with the meandering sidewalk.*
24. *All new Oleanders shall be a minimum of fifteen gallons at the time of planting, and shall be planted at a maximum of 5 feet on center.*
25. *The existing Oleanders shall not be trimmed closer than 6 inches from the existing fence.*
26. *The Lantana plant species utilized shall include a minimum of 3 separate colors.*
27. *Opuntia ficus-indica (Prickly Pear) shall be provided within the landscaping adjacent to North 62nd Street. The Prickly Pear shall not be planted closer than 8 feet from the sidewalk, bench area or street, and shall include other plant material between the Prickly Pear and the sidewalk.*
28. *The Prickly Pear shall not receive irrigation after the initial planting.*
29. *The decomposed granite that is to be provided shall match the color of the decomposed granite in front of the Papago Buttes subdivision entry adjacent to North 62nd Street.*

30. *All salvageable plant material between tanks #3 and #4 and the south property line that are protected plant species in accordance with the Scottsdale Revised City Code, but is not required to be salvaged due to their size, must be salvaged.*
31. *All landscaping in the interior of the facility that is to be planted and/or is to remain in place, including the oleanders, shall be maintained in a healthy condition. The owner shall replace any shrub, tree, cactus, that dies as determined by the Zoning Administrator.*
32. *New and salvaged plant material shall be planted in front of the new fence adjacent to the south property line at a density to screen the fence to the satisfaction of the Planning and Development Services General Manager or Designee. The Planning and Development Services General Manager or Designee may require additional landscaping material to screen the fence once the plant material has been installed. The developer/applicant is not to receive a Letter of Completion/Certificate of Occupancy until all requirements and additional landscaping, if required by the Planning and Development Services General Manager or Designee, has been installed. The applicant shall provide this stipulation in the form of a note on all associated plans.*
33. *Chilopsis linearis (Desert Willow) shall not be utilized.*
34. *All trees shall be maintained so that they do not exceed 25 feet in height.*
35. *The new plant material utilized south of tanks #3 and #4 and the south property line shall include Larrea tridentate (Creosote Bush), Salvia (Purple Sage), and Viguiera parishii (Golden Eye).*
36. *All species shall be selected solely from the Arizona Department of Water Resources Low Water Use / Drought Tolerant Plan List for the Phoenix Active Management Area.*
37. *All new single trunk trees shall have a minimum of 2-inch caliper size, and all new multi-trunk trees shall have a minimum 1 inch average caliper size.*
38. *All new trees between tanks #3 and #4 and the south property line shall be multi-trunk trees.*
39. *Any plant material that are not oleanders and are growing out of the oleander hedge adjacent to North 62nd Street shall be removed.*
40. *The oleanders shall be allowed to grow and fill in from the ground up.*
41. *The landscaping west of the wall stipulated in stipulation number 20 shall continue the landscaping pattern west of the oleander hedge as stipulated herein.*

**Ordinance**

- A. All plant densities shall be provided in accordance with the Zoning Ordinance.

**EXTERIOR LIGHTING DESIGN:****DRB Stipulations**

42. *With the exception of the infrared lighting proposed for the security system, no exterior lighting is approved with this application.*

**ADDITIONAL PLANNING ITEMS:****DRB Stipulations**

43. No exterior vending or display shall be allowed.
44. Flagpoles, if provided, shall be one piece, conical, and tapered.
45. Patio umbrellas shall be solid colors and shall not have any advertising in the form of signage or logos.

**RELEVANT CASES:****Ordinance**

- B. At the time of review, the applicable Staff Approval cases for the subject site was 125-SA-2005.

## ENGINEERING

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all inclusive of project requirements. The developer shall submit engineering design reports and plans that demonstrate compliance with city ordinances, the Scottsdale Revised Code and the Design Standards and Policies Manual.

### **APPLICABLE DOCUMENTS AND PLANS:**

46. Comply with the Site Plan submitted by Stantec Consulting with a date provided on the plans by City Staff of 6/20/2006.

### **CIVIL IMPROVEMENT PLAN REQUIREMENTS:**

#### **DRB Stipulations**

47. *Remove the asphalt driveway entry to the southern-most vehicular access gate on North 62nd Street.*

### **DRAINAGE AND FLOOD CONTROL:**

#### **DRB Stipulations**

48. A final drainage report shall be submitted that demonstrates consistency with the conceptual drainage report approved in concept by the Planning and Development Services Department.
- a) Before the approval of improvement plans by city staff, the developer shall submit two (2) hard copies and one (1) compact disc copy of the complete final drainage report and plan.
49. *The applicant shall provide method approved by Maricopa County Dust Control and the City of Scottsdale in barren areas/areas void of landscaping to minimize dust during and upon completion of the improvement. The applicant shall provide the methodology on the plans.*
50. Basin Configuration:
- b) *New basin side slopes shall not be steeper than 4:1, and basin depths shall not exceed 3 feet.*

#### **Ordinance**

- C. With the final improvement plans submittal to the Plan Review and Permit Services Division, the developer shall submit a final drainage report and plan, subject to City staff approval.
- D. Street and Driveways Crossings:
- (1) The street and driveways shall be design to provide for 100-year emergency access. Accessibility will be considered to exist if it can be shown by the engineer that at the time of the peak flow, the depth of flow over the road will not be greater than 1 foot.

**ROADWAY, INTERSECTION, AND ACCESS DESIGN:****Streets and other related improvements:**

<b>STREET NAME</b>	<b>STREET TYPE</b>	<b>R.O.W. DEDICATION</b>	<b>ROADWAY IMPROVEMENT</b>	<b>CURB TYPE</b>	<b>BIKE PATH, SIDEWALK, TRAILS</b>
Thomas Road	Minor Arterial	An 8 foot roadway easement. This easement may have a smaller width from the ROW to the face of the proposed wall as shown on the site plan provided by Stantec Consulting with a date provided on the plans by City Staff of 6/20/2006.	Existing	Existing	7 foot Sidewalk, include directional ADA Ramps, or payment in-lieu of improvements as approved by the Transportation Department.
North 62nd Street	Local Residential Suburban	None	Curb, and Gutter to match existing alignment to the south.	Vertical	5 foot Meandering Sidewalk, include directional ADA Ramps.
64 <sup>th</sup> Street	Major Collector	Existing	Existing	Existing	None

**DRB Stipulations**

51. The developer shall design and construct the North 62nd Street driveway entrance in accordance with the City of Scottsdale Supplement to MAG Detail and Specification detail 2258-CI-1.

**INTERNAL CIRCULATION:****DRB Stipulations**

52. The developer shall provide a minimum driveway width of 20 feet.
53. The developer shall provide internal circulation that accommodates emergency and service vehicles with an outside turning radius of 45 feet and inside turning radius of 25 feet.

54.

### **EASEMENTS AND DEDICATIONS**

<b>EASEMENT / DEDICATION</b>	<b>DESCRIPTION</b>
Sight Distance Easements	62 <sup>nd</sup> , 64 <sup>th</sup> and driveway access locations, the North 62nd Street and Thomas Road Intersection, and the Thomas Road and 64 <sup>th</sup> Street in accordance with the DS&PM
Emergency and Service Access Easements	As determined by the City of Scottsdale Fire Department

### **DRB Stipulations**

55. Sight distance easements shall be dedicated over sight distance triangles.

- I. Sight distance triangles must be shown on final plans to be clear of landscaping, signs, or other visibility obstructions between 2 feet and 7 feet in height.
- II. Refer to the following figures: 5.3-26 and 5.3-27 of Section 5.1 of the City's Design Standards and Policies Manual, 2004 update.

### **Ordinance**

E. Drainage Easement:

- (1) Drainage and flood control easements shall be dedicated to the City to the limits of inundation for all vista corridor washes, for all washes having a discharge rate of \_\_\_\_ cfs or more, for all FEMA regulatory floodways to the extent of the 100-year base flood elevation, and for all storm water storage basins. All drainage and flood control easements shall be dedicated to the City with maintenance responsibility specified to be that of the property owner.

### **CONSTRUCTION REQUIREMENTS**

### **DRB Stipulations**

As-Built Plans.

56. City staff may at any time request the developer to submit as-built plans to the Inspection Services Division.

- I. As-built plans shall be certified in writing by a registered professional civil engineer, using as-built data from a registered land surveyor.
- II. As-built plans for drainage facilities and structures shall include, but are not limited to, streets, lot grading, storm drain pipe, valley gutters, curb and gutter, flood walls, culverts, inlet and outlet structures, dams, berms, lined and unlined open channels, storm water storage basins, underground storm water storage tanks, and bridges as determined by city staff.

### **Ordinance**

F. Section 404 permits. With the improvement plan submittal to the Plan Review and Permit Services Division, the developer's engineer must certify that it complies with, or is exempt from, Section 404 of the Clean Water Act of the United States. [Section 404 regulates the discharge of dredged or fill material into a wetland, lake, (including dry lakes), river, stream (including intermittent streams, ephemeral washes, and arroyos), or other waters of the United States.

64<sup>th</sup> Street Reservoir  
 Security Gate  
 6307 E. Thomas  
 Scottsdale, AZ

## FIRE ORDINANCE REQUIREMENTS

(INCORPORATE INTO BUILDING PLANS AS GENERAL NOTE BLOCK - USE ONLY THE DESIGNATED STIPULATIONS)

- ☒ 1. PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE & MUST BE ON ALL PLANS.
- ☒ 2. FIRE LANES & EMERGENCY ACCESS SHALL BE PROVIDED & MARKED IN COMPLIANCE WITH CITY ORDINANCE & IFC AT THE FOLLOWING LOCATIONS.
- \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_
- ☐ 3. IT IS THE DEVELOPERS RESPONSIBILITY TO DETERMINE ULTIMATE COMPLIANCE WITH THE FAIR HOUSING AMENDMENTS ACT & AMERICANS WITH DISABILITIES ACT & INCORPORATE SAME INTO THEIR BUILDING PLANS.
- ☐ 4. SUBMIT PLANS & SPECS FOR SUPERVISED AUTOMATIC EXTINGUISHING SYSTEM FOR ALL COOKING APPLIANCES, HOOD PLENUMS & EXHAUST DUCTS.
- ☒ 5. PROVIDE A KNOX ACCESS SYSTEM:
- ☐ A. KNOX BOX
  - ☒ B. PADLOCK
  - ☐ C. KNOX OVERRIDE & PRE-EMPTION STROBE SWITCH FOR AUTOMATIC GATES.
- ☐ 6. INSTALL AN AS BUILT DRAWING CABINET ADJACENT TO THE FIRE SPRINKLER RISER. IT SHALL BE OF ADEQUATE SIZE TO ACCOMMODATE BOTH THE FIRE SPRINKLER & FIRE ALARM DRAWINGS. THE CABINET SHALL BE PROVIDED WITH A LOCK & KEYPED TO MATCH THE FIRE ALARM CONTROL PANEL & SUPERVISED BY THE FACP IF APPLICABLE.
- ☐ 7. SUBMIT PLANS FOR A CLASS \_\_\_\_\_ FIRE ALARM SYSTEM PER SCOTTSDALE REVISED CODES.
- ☐ 8. PROVIDE INTERIOR TENANT NOTIFICATION WHEN OFF-SITE MONITORING IS REQUIRED.  
 (SEE FIRE ALARM INTERPRETATIONS FOR CLARIFICATION)
- ☐ 9. ADD 2-1/2" WET FIRE HOSE VALVES (NSHT) IF FLOOR AREA EXCEEDS 10,000 SQ. FT. PER FLOOR LEVEL AND/OR IF FIRE DEPT. ACCESS IS LIMITED TO LESS THAN 360°. \_\_\_\_\_
- ☐ 10. BUILDINGS MAY BE SUBJECT TO INSTALLATION AND TESTING REQUIREMENTS FOR A PUBLIC SAFETY RADIO AMPLIFICATION SYSTEM.
- ☐ 11. BACKFLOW PREVENTION WILL BE REQUIRED ON VERTICAL RISER FOR CLASS 1 & 2 FIRE SPRINKLER SYSTEMS PER SCOTTSDALE REVISED CODE.
- ☐ 12. PROVIDE ALL WEATHER ACCESS ROAD (MIN. 16") TO ALL BUILDINGS & HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION.
- ☐ 13. SEE APPROVED CIVILS FOR THE NUMBER OF FIRE HYDRANTS REQUIRED. DEVELOPER SHALL HAVE THE REQUIRED HYDRANTS INSTALLED & OPERABLE PRIOR TO THE FOOTING INSPECTION. HYDRANTS SHALL BE SPACED AT A MAXIMUM OF \_\_\_\_\_ AT \_\_\_\_\_ GPM. THE DEVELOPER SHALL MAKE THE C.O.S. APPROVED CIVIL WATER PLANS AVAILABLE TO THE FIRE SPRINKLER CONTRACTOR.
- ☐ 14. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED. SEE SHEET(S) \_\_\_\_\_
- ☐ 15. EXIT & EMERGENCY LIGHTING SHALL COMPLY WITH THE C.O.S. ORDINANCE & THE IFC. SEE SHEETS \_\_\_\_\_
- ☐ 16. SUBMIT MSDS SHEETS & AGGREGATE QUANTITY FOR ALL HAZARDOUS MATERIALS INCLUDING FLAMMABLES, PESTICIDES, HERBICIDES, CORROSIVES, OXIDIZERS, ETC. A PERMIT IS REQUIRED FOR ANY AMOUNT OF HAZARDOUS MATERIALS STORED, DISPENSED, USED OR HANDLED. COMPLETE AN HMMP & SUBMIT WITH THE BUILDING PLANS.
- ☐ 17. FIRELINE, SPRINKLER & STANDPIPE SYSTEM SHALL BE FLUSHED & PRESSURE TESTED PER NFPA STANDARDS & SCOTTSDALE REVISED CODES.
- ☐ 18. FDC SIAMESE CONNECTIONS FOR SPRINKLERS AND/OR STANDPIPES WILL BE LOCATED PER ORDINANCE AND/OR AT AN APPROVED LOCATION. MINIMUM SIZE 2-1/2 x 2-1/2 x \_\_\_\_\_ (NSHT)
- ☐ 4' TO 8' BACK OF CURB; INDEP. WET LINE.
  - ☐ WALL MOUNTED - 15' CLEAR OF OPENINGS.
- ☐ 19. ADEQUATE CLEARANCE SHALL BE PROVIDED AROUND FIRE RISER. DIMENSIONS FROM FACE OF PIPE SHALL MEASURE A MINIMUM OF 12" OFF THE BACK OF WALL, 18" ON EACH SIDE & 36" CLEAR IN FRONT WITH A FULL HEIGHT DOOR. THE FIRE LINE SHALL EXTEND A MAXIMUM OF 3' INTO THE BUILDING FROM INSIDE FACE OF WALL TO CENTER OF PIPE.

20. ☐ SPRINKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH MINIMUM NFPA CRITERIA 2002 EDITION & SCOTTSDALE REVISED CODES. SYSTEMS WITH 100 HEADS OR MORE SHALL HAVE OFF-SITE MONITORING. AFTER BUILDING PLAN REVIEW, INSTALLING CONTRACTOR SHALL SUBMIT (3) THREE COMPLETE SETS OF DRAWINGS & HYDRAULIC CALCULATIONS REVIEWED BY A MINIMUM NICET III DESIGN TECHNICIAN.
- ☐ A. MODIFIED NFPA 13-D SYSTEM WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS (2002 EDITION)
- ☐ B. MODIFIED NFPA 13R SYSTEM (2002 EDITION) WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS IN DWELLING UNITS & ATTIC AREAS FED FROM SEPARATE FIRELINE PER C.O.S. ORDINANCE & INTERPRETATIONS & APPLICATIONS. CALCULATE UP TO FOUR REMOTE HEADS & 900 SQ FT MIN. IN ATTIC.
- ☐ C. NFPA 13 2002 EDITION COMMERCIAL SYSTEM / DESIGN CRITERIA: SEISMIC DESIGN CATEGORY SHALL BE DETERMINED BY STRUCTURAL ENGINEER.
- ☐ D. THE FIRE SPRINKLER SYSTEM DESIGN FOR WAREHOUSE / STORAGE OCCUPANCIES SHALL BE BASED ON THE FULL HEIGHT CAPACITY OF THE BUILDING PER SCOTTSDALE REVISED CODE. DENSITY CRITERIA:
- ☐ E. SPRINKLER DESIGN CRITERIA FOR UNSPECIFIED WAREHOUSE COMMODITIES: .45 OVER 3000 SQ. FT.
- ☐ F. THE PROJECT SPECIFICATIONS SHALL BE SUBMITTED WITH CONTRACT DRAWINGS.

Submit three (3) complete sets of drawings submitted by installing contractor, after building plan review is complete. Please refer questions to Fire Dept. Plan Review, 312-7070, 312-7684, 312-7127, 312-2372.

**City of Phoenix 64<sup>th</sup> Street Reservoir Facility 14-DR-2006****Description of Site and Project**

The property is owned by the City of Phoenix, Water Services Department. There are 4 water storage reservoirs, a booster pump station and a disinfection facility on the site. The site is bounded by 62<sup>nd</sup> Street to the west, 64<sup>th</sup> Street to the east, Thomas Road to the north and residential lots to the south. The site currently has a concrete wall to the east (64<sup>th</sup> St.), 6-ft chain link fences to the north (Thomas Road) and west (62<sup>nd</sup> St.) and rear lot residential fencing to the south.

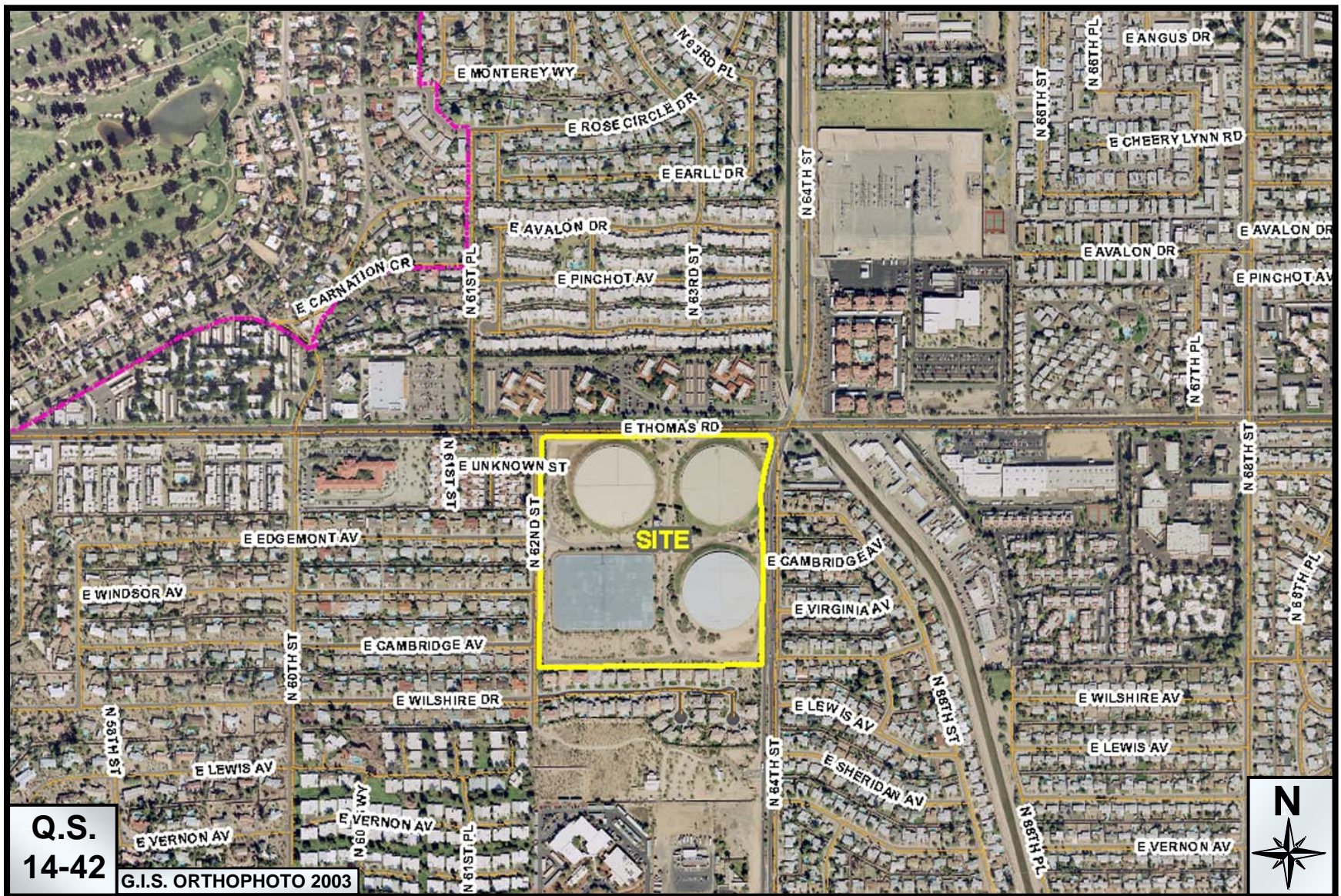
The project consists of upgrading of the existing site security to protect the City of Phoenix's water system. The proposed upgrading includes construction of new perimeter fences and walls and intrusion detection systems. A new 8-ft high masonry block wall will be constructed to the north (Thomas Road) and new 8-ft high vinyl coated chain link fence to the south. Two options, both of which secure the site, are under consideration from 62<sup>nd</sup> Street, a new 8-ft high vinyl coated fence or a new 8-ft high masonry block wall. No additional visible site lighting is proposed.

The new north wall will be offset 8-ft from the existing property line and sidewalk. New landscaping will be provided between the sidewalk and the new wall. The existing adjacent vegetation will be removed. There are 3 areas where the new wall will be closer than 8-ft in order to contain existing City of Phoenix water features.

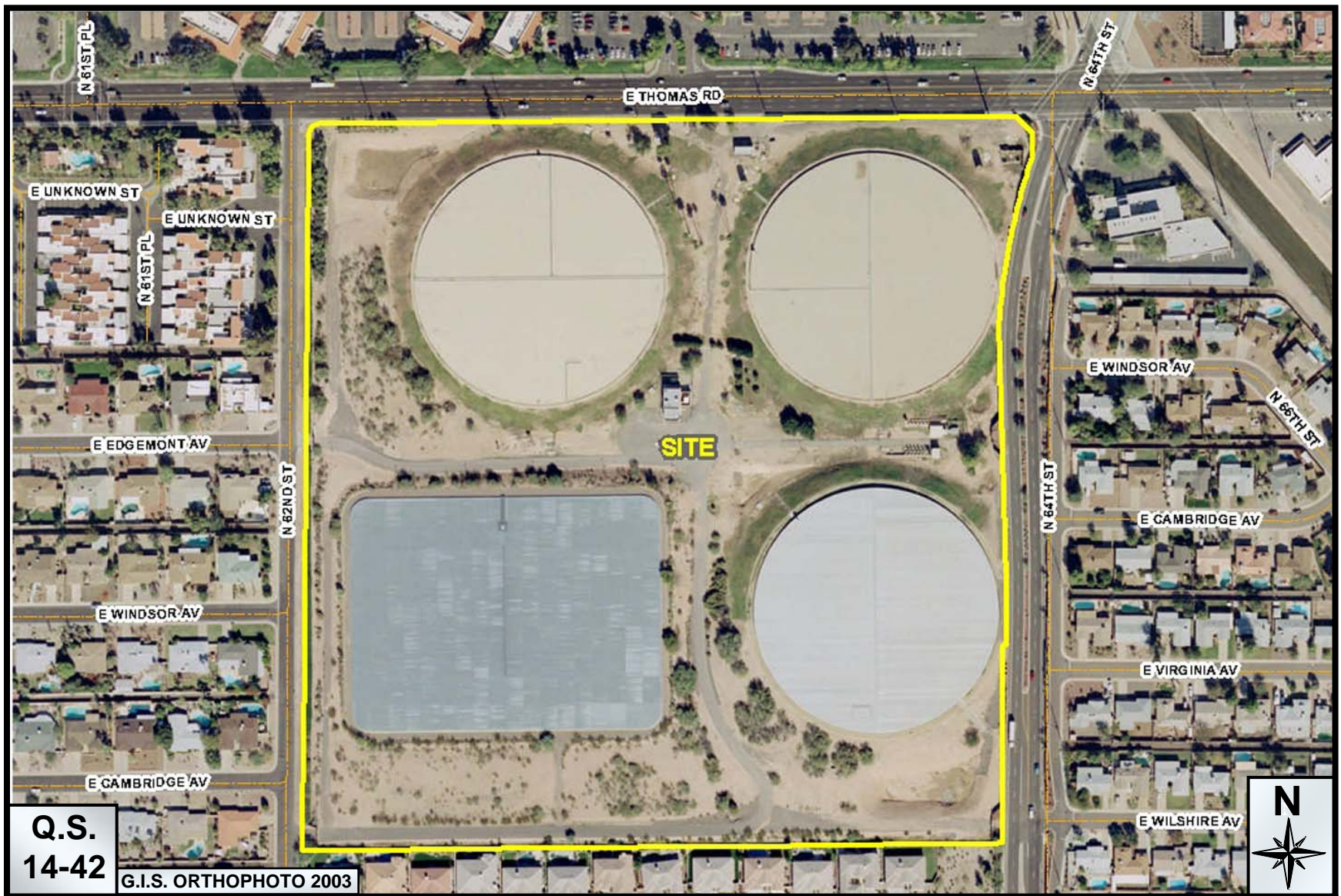
The new fence to the south of the property will be located approximately 140-ft north of the property boundary. The fence will be colored to blend with the environment. Desert landscaping will be installed to supplement existing vegetation south of the new fence to screen the fence from the adjacent properties. The existing landscaping between the storage reservoirs and the new fence will be removed to provide line of sight for security.

Two options are under consideration for securing the 62<sup>nd</sup> Street property line. With both options, the City of Phoenix proposes to finish the east side of 62<sup>nd</sup> Street to City of Scottsdale standards, including curb, gutter, sidewalk and new landscaping between the existing chain link fence and the sidewalk. This road is currently only finished on the west side. One 20-ft wide access gate will be provided to the site at the existing driveway location and the existing gate at the south of the property will be removed. With the fence

option, the new fence will be located approximately 12-ft inside the property line, behind the existing oleanders. The existing chain link fence and oleanders on 62<sup>nd</sup> Street will remain in place. With the wall option, the new wall will be constructed along the property line, with insets for variety. The oleanders will be removed with this option.



# 64th Street Reservoir -Security Improvements



Q.S.  
14-42

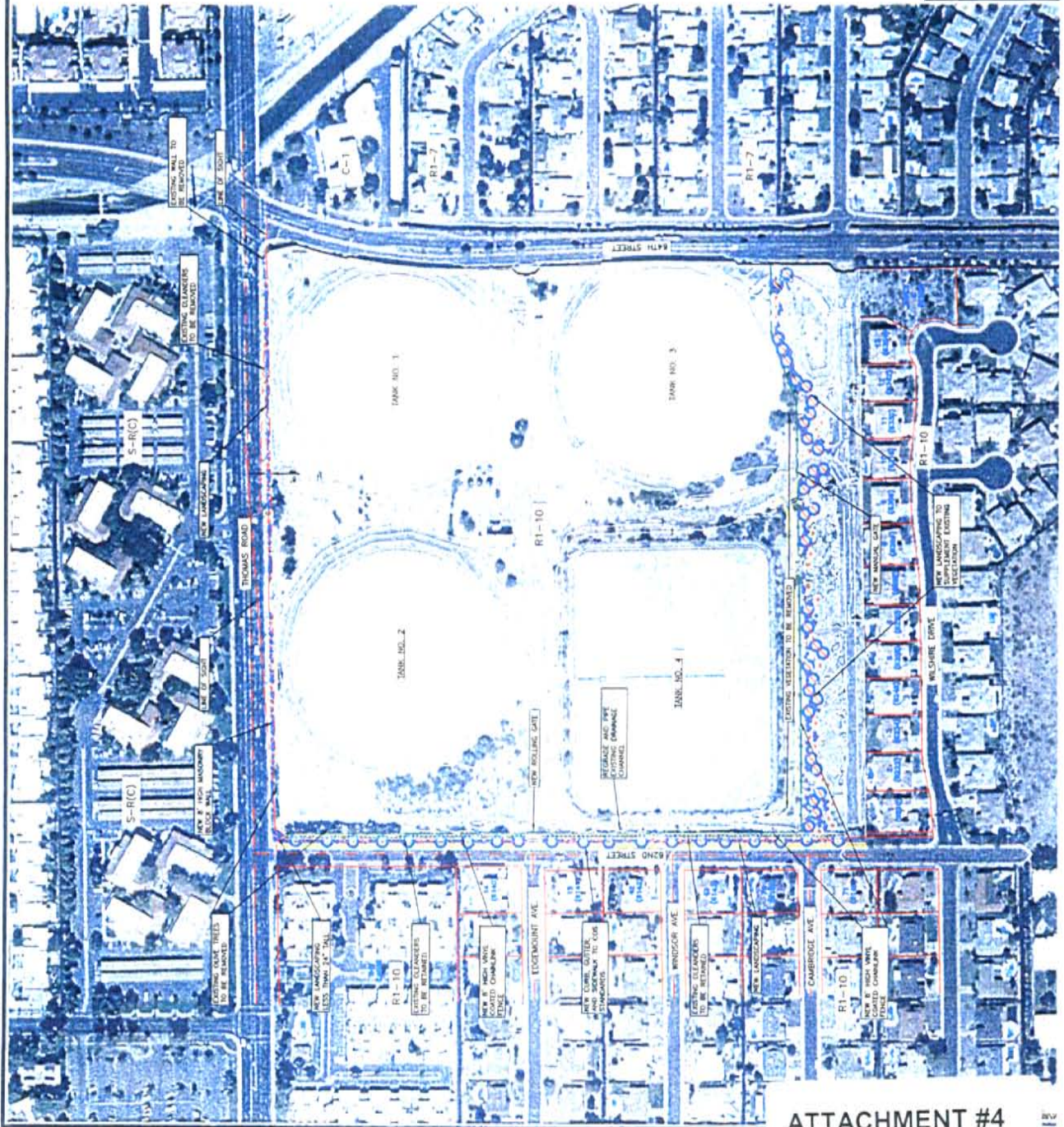
G.I.S. ORTHOPHOTO 2003

## 64th Street Reservoir -Security Improvements

14-DR-2006

ATTACHMENT #2A







14-DR-2006  
06/20/2006



City of Phoenix

CITY OF PHOENIX  
WATER SERVICES DEPARTMENT  
REMOTE FACILITIES SECURITY  
IMPROVEMENTS, 64TH STREET RESERVOIR  
6307 EAST THOMAS ROAD

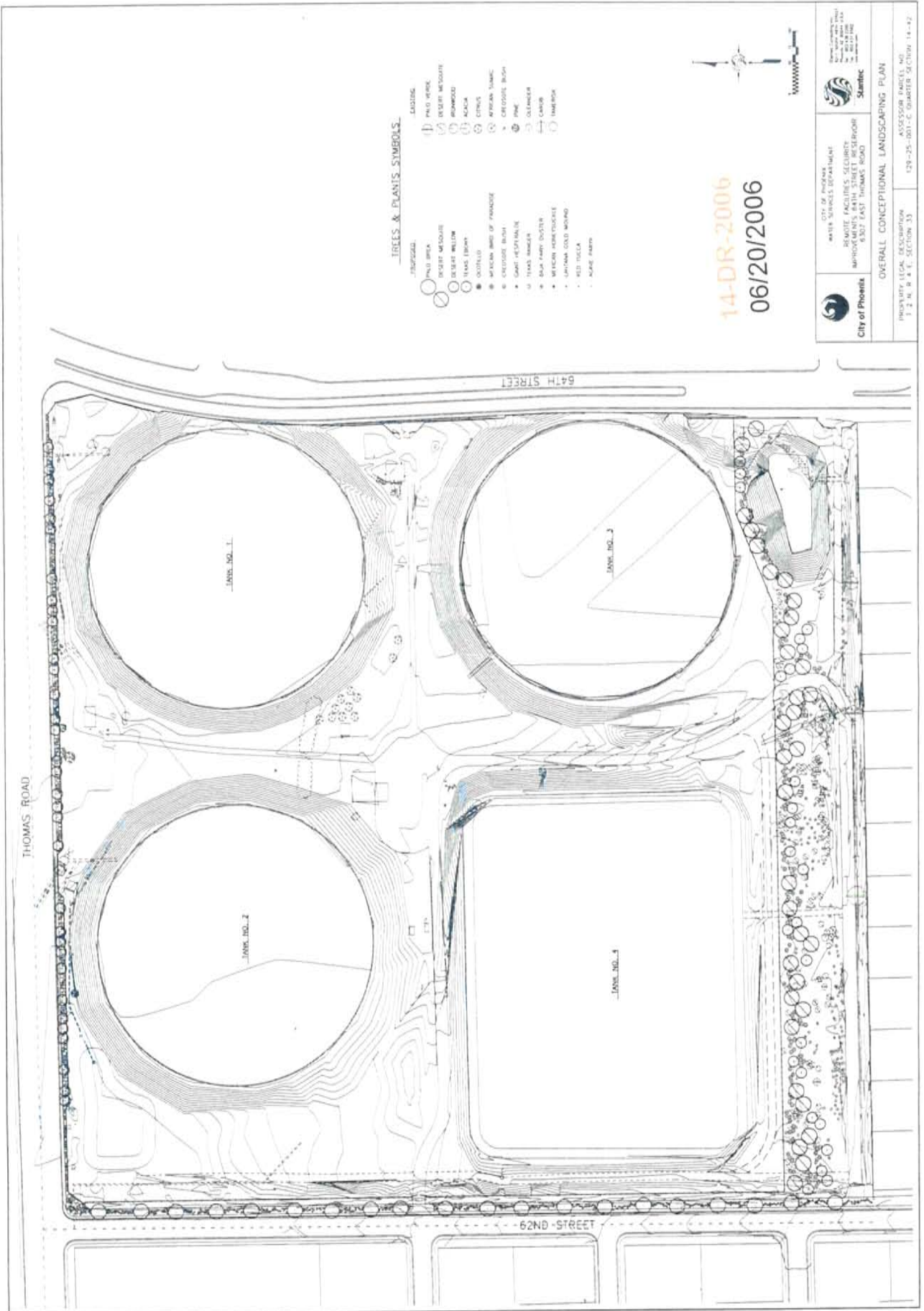
 **Stantec**

Stantec Consulting Inc.  
 P.O. Box 52000, WPM - 52001-01  
 Phoenix, AZ 85066-0101  
 Tel: 802 430 2200  
 Fax: 802 431 9143  
 www.stantec.com

OVERALL SITE PLAN

PROPERTY LEGAL DESCRIPTION  
T 2 N, R 4 E, SECTION 33

ASSESSOR PARCEL NO  
129-25-001-C QUARTER SECTION 14-42



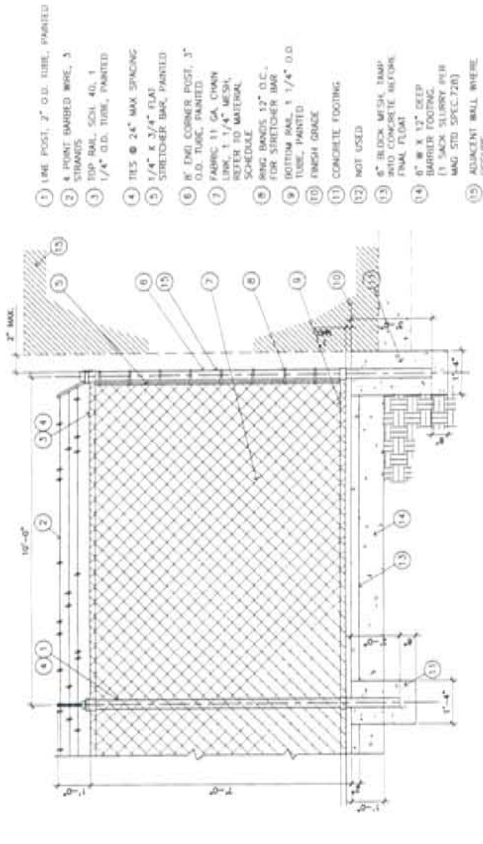


8' HIGH WALL WALL  
THOMAS ROAD ELEVATION

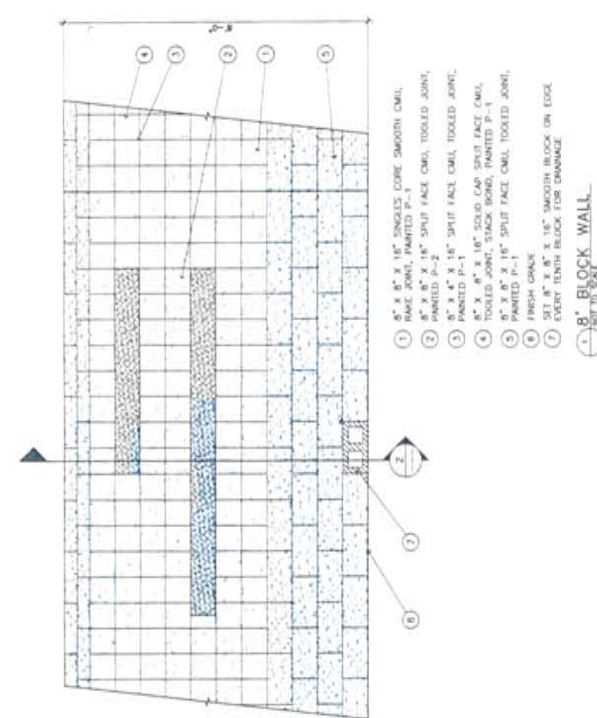
SCALE NONE

14-DR-2006

06/20/2006



1. 8" CHAINLINK FENCE



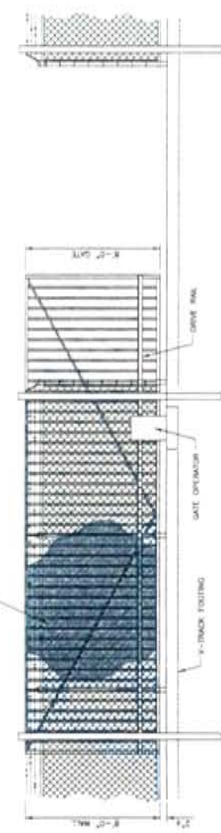
2. 8" BLOCK WALL

COLOR AND PATTERN TO MATCH 641H STREET WALL



3. 8" BLOCK WALL SECTION

ON THE OUTSIDE SURFACE OF THE GATE, PROVIDE A 1'-0" EXPOSED SAFETY MESH, MESH TO PREVENT REACH THROUGH OR CLIMBING. PROVIDE WITH ONE GATE RECOMMENDED BY MANUFACTURER. PROVIDE WITH ONE GATE SURROUNDING OUTSIDE WITH ONE GATE.



4. POST MOUNTED PINCH ROLLER SLIDE GATE

NOTE: 9 CA. JOINT REINFORCING AT 1'-4" O.C.

<p><b>City of Phoenix</b> WATER SERVICES DEPARTMENT REMOTE FACILITIES SECURITY IMPROVEMENTS 64TH STREET RESERVOIR 6307 EAST THOMAS ROAD</p>	<p>Santec Santec Corporation Inc. 2174 N. 10TH AVE. DRELL PHOENIX, AZ 85016 TEL: 602-437-8900 WWW.SANTEC.COM</p>
<p>WALL, FENCE AND GATE ELEVATIONS AND SECTION DETAILS</p>	
<p>PROPERTY LEGAL DESCRIPTION T 2 N, R 4 E, SECTION 35</p>	<p>ASSESSOR PARCEL NO. 129-25-001-C QUARTER SECTION 14-42</p>

14-DR-2006  
06/20/2006



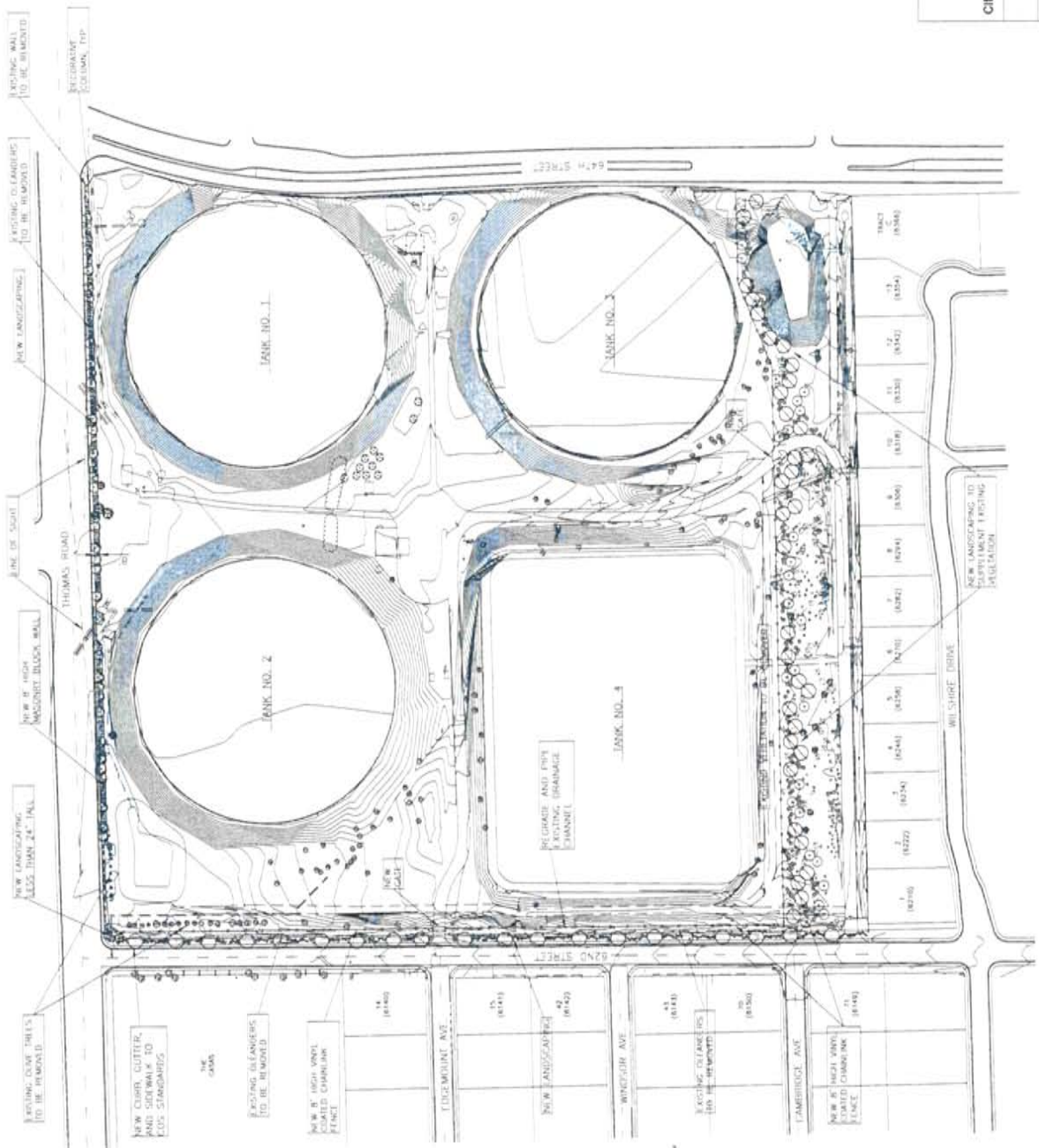
62ND STREET ELEVATION

SCALE NONE

14-DR-2006

06/20/2006

OPTION #1



- LEGEND**
- CHIMNEY (11' H)
  - MAGNETIC WALL
  - FIELD HHA
  - DESERT MESQUITE
  - DESERT WILLOW
  - TEXAS LINDY
  - OAKLEAF
  - MEXICAN IRIDE OR YAMBOUL
  - CROCODILE BUSH
  - LARK HEPATOPHORE
  - TEXAS RANGER
  - BLACK LANT TIGER
  - MEXICAN MONSIEUR
  - LANTANA (20' H)
  - RED PLECK
  - ACACIA FRUIT

**OPTION #1**

**14-DR-2006**

**06/20/2006**





**City of Phoenix**

CITY OF PHOENIX  
WATER SERVICES DEPARTMENT

REMOTE FACILITIES SECURITY  
IMPROVEMENTS 64TH STREET RESERVOIR  
6307 EAST THOMAS ROAD



Santec

OVERALL SITE PLAN - FENCE 62ND STREET

PROPERTY LEGAL DESCRIPTION:  
T 2 N, R 4 E, SECTION 33

ASSESSOR PARCEL NO.  
129-25-001-C QUARTER SECTION 14 -42



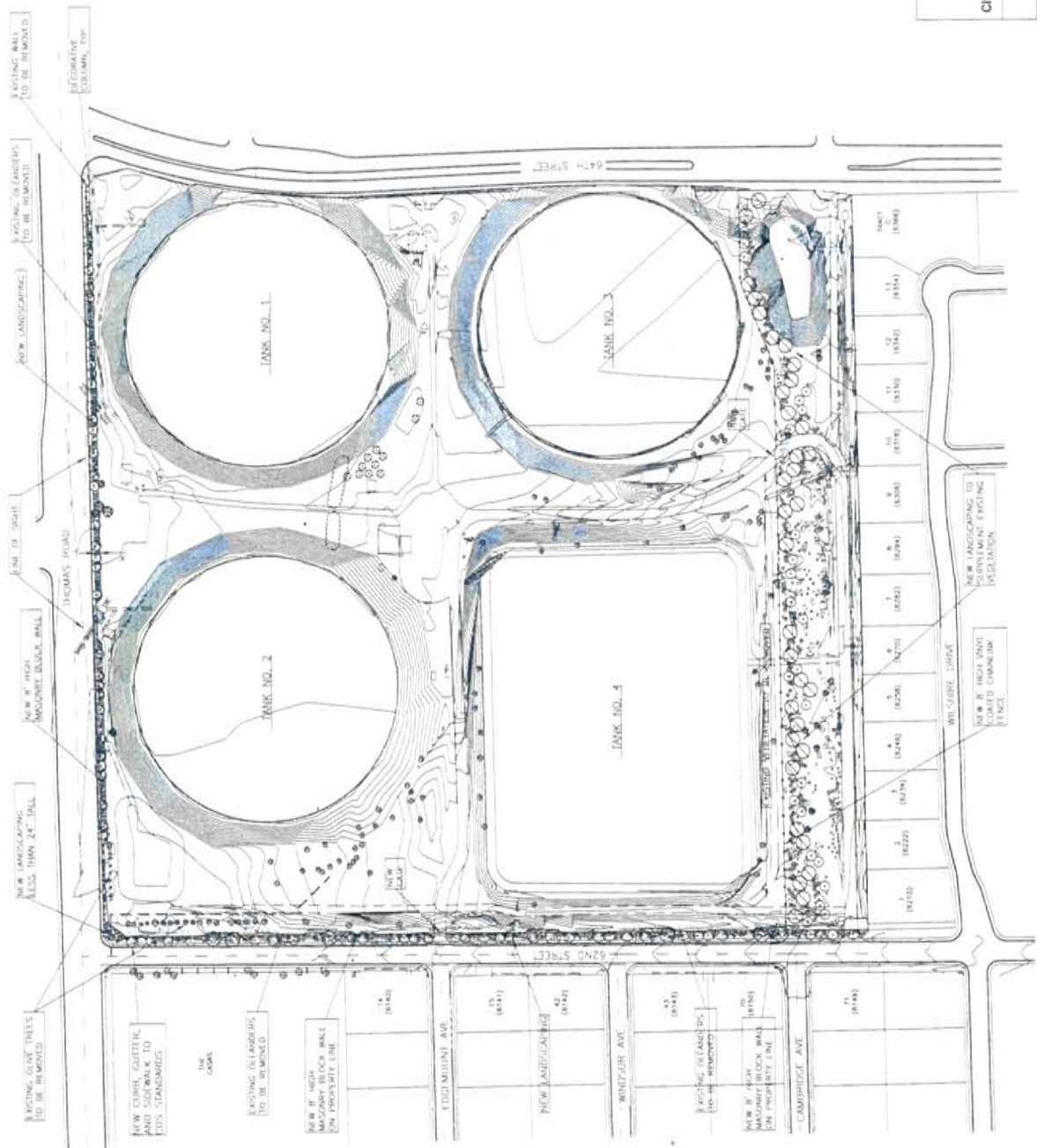
8' HIGH WALL WALL  
62ND STREET ELEVATION

SCALE NONE

14-DR-2006

06/20/2006

OPTION #2

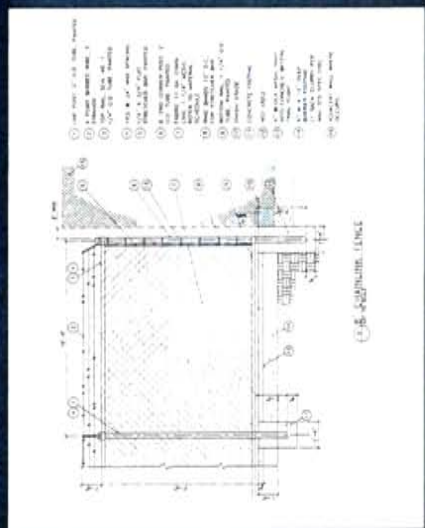
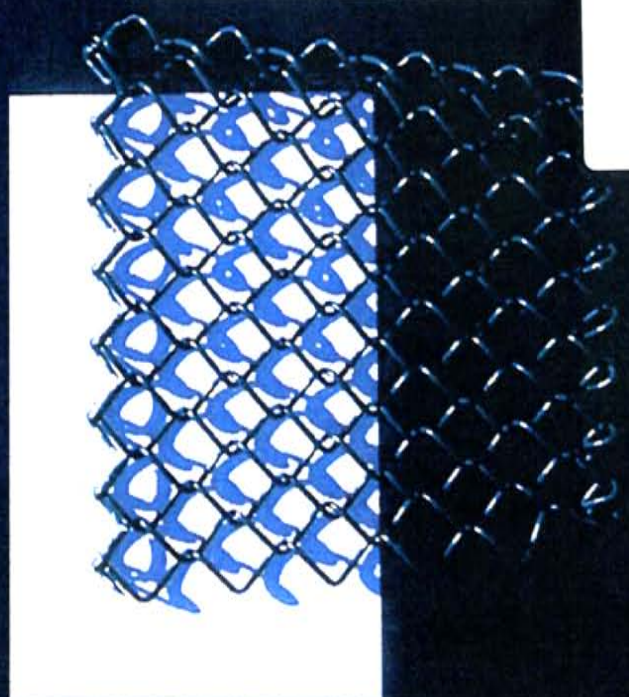
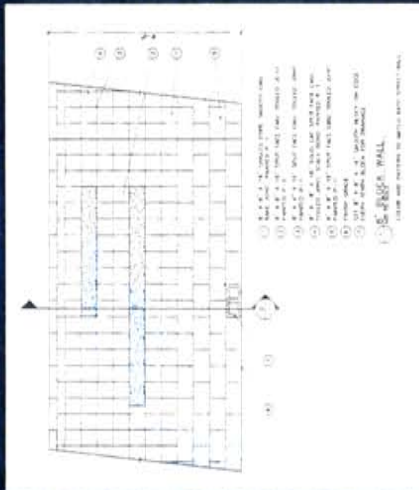


- LEGEND**
- CHAINING FENCE
  - MASONRY WALL
  - PAID AREA
  - DESERT WAGTAIL
  - DESERT WILLOW
  - TEXAS EDDY
  - GOTTEN
  - MEXICAN BIRD OF PARADISE
  - FREIGHT BIRD
  - LIGHT WILLOW
  - TEXAS HANGER
  - BLACK FANTASY DUSTY
  - MEXICAN HONEYEATER
  - LARKSPRING GOLD MOUND
  - RED VIOLETTA
  - AGAVE PLANT

**OPTION #2**  
**14-DR-2006**  
**06/20/2006**



<p><b>City of Phoenix</b></p>	<p>CITY OF PHOENIX          WATER SERVICES DEPARTMENT</p>	<p>REMOTE FACILITIES SECURITY          IMPROVEMENTS 64TH STREET RESERVOIR          6307 EAST THOMAS ROAD</p>	<p>Stantec Consulting Inc.          4011 North 30th Street          Suite 100          Phoenix, AZ 85018          Tel: 602.262.1000          Fax: 602.262.1001          www.stantec.com</p>
	<p>OVERALL SITE PLAN — WALL 62ND STREET</p>		
<p>PROPERTY LEGAL DESCRIPTION          1/2 N. 4 E. SECTION 33</p>		<p>ASSESSOR PARCEL NO          129-25-001-C QUARTER SECTION 14-42</p>	



### MATERIALS AND COLORS

(FOR ALL OTHERS AND MATERIALS, SEE MANUAL CONSTRUCTION TO THE PROJECT SPECIFICATIONS)

MATERIAL	COLOR
SPIT FACE CONCRETE BLOCK	SPIT FACE CONCRETE BLOCK
SMOOTH FACE CONCRETE BLOCK	SMOOTH FACE CONCRETE BLOCK
FIELD	FIELD
SPIT FACE CONCRETE BLOCK	SPIT FACE CONCRETE BLOCK
ACCENT FINISHING	ACCENT FINISHING
TRUCK JOINTS	TRUCK JOINTS
1" X 1" SPIN COATED CHANNEL	1" X 1" SPIN COATED CHANNEL

### REMOTE FACILITIES SECURITY IMPROVEMENTS

64TH STREET RESERVOIR  
6307 EAST THOMAS ROAD  
JUNE 2006  
REVISED

14-DR-2006  
06/20/2006

## Joint Neighborhood Recommendations

**To:** City of Scottsdale Development Review Board, City of  
Phoenix Water Services Department

**From:** Heritage East and Papago Buttes neighborhoods

**RE:** 14-DR-2006

**Joint neighborhood recommendations regarding landscape  
improvements of the 64<sup>th</sup> street water reservoir facility**

**Date:** June 26, 2006

---

Residents of the Heritage East neighborhood (part of the Sherwood Heights, et al Neighborhood Association) and Papago Buttes Homeowners Association originally submitted Petitions to the Development Review Board recommending competing landscape plans for the 64th street water reservoir. After considerable discussions with Councilman Bob Littlefield, the two neighborhoods joined together to negotiate and find common ground. The result of these efforts are the joint recommendations contained in this document. The following recommendations, requests, and opinions reflect the shared views of the Heritage East neighborhood (and its Neighborhood Association, the Sherwood Heights, et al Neighborhood Association) and the Papago Buttes Homeowners Association, collectively representing 145 homes:

### **62nd Street Landscape Plan Recommendations**

1. Retain the oleanders along 62nd street, as the best option for providing a visual screen of the water tanks.
2. Maintain the oleanders, and provide evidence of a maintenance plan for the reservoir landscaping. Both neighborhoods want assurance that oleanders and other plants will be watered, trimmed, and fertilized to maintain plant health.
3. Remove non-oleander plants. There are numerous weeds and other plants (e.g., tamarisk) among the oleanders. These need to be removed.
4. Allow oleanders to fill out at the base and grow through the unsightly chain link fence to visually mask it.

## Joint Neighborhood Recommendations

5. Keep the southern-most gate, remove the asphalt entry at the gate and replace it with landscaping as planned for the remainder of 62nd street. Also, add oleanders in front of the gate to create a continuous row and provide the needed visual screen. Keeping the existing gate provides the necessary visual screen until the new oleanders mature.
6. Modify the 62nd street landscaping plan to achieve a park-like effect. Our desire is an aesthetically pleasing area designed to soften the impact of the long straight row of oleanders. To achieve this, we recommend these design features:
  - A meandering sidewalk that touches the curb and then gradually curves away (see attached photo examples).
  - A four foot wide sidewalk (which conforms to the other sidewalks in the neighborhood) to allow for maximum landscaping flexibility.
  - Palo brea trees spaced at 25 foot intervals.
  - Two or three benches (poured concrete top mounted on round pedestals. These should be placed between Edgemont and Wilshire and angled toward Camelback Mountain to the SSW. For security reasons, these should be placed where the sidewalk curves closest to the curb, across from streetlights. The benches should be limited to four feet in length to discourage people from sleeping on them.
  - Lantana (gold mounding) is currently specified in the plan. We recommend a variety of colors.
  - We recommend including cactus in the landscaping design (e.g. prickly pear)
  - A variety of texture, color, and form in terms of plants chosen.
  - Granite that is of the same type, size and color as that found in the 62<sup>nd</sup> Street landscaping west of Papago Buttes, with an average depth of 2 inches
  - Landscaped areas between the curb and sidewalk where the sidewalk curves away from the curb

### Southern reservoir boundary

1. The current plan specifies a coated 8 foot chain link fence with barbed wire along the southern border. Both neighborhoods request that the plan be modified to specify a wrought iron fence (similar to the Phoenix water campus site at 24<sup>th</sup> street and Lincoln). Given the geographic proximity and visibility of Phoenix water campus to Papago Buttes, wrought iron fencing material will maintain the aesthetics of the area and is in

## Joint Neighborhood Recommendations

keeping with Scottsdale's goals of promoting harmonious, attractive and compatible development.

2. Given the elevation change from west to east, grade the area between our property lines and the fence to retain as much of current sight lines as possible.
3. Paint the inside of 64<sup>th</sup> street wall the same color as east side of the wall facing 64<sup>th</sup> street. Currently, the wall is unpainted and unsightly to Papago Buttes neighbors on the eastern end of Wilshire.
4. Implement a plan for dust control on the reservoir site. This has been and will continue to be a problem, especially with the proposed removal of desert vegetation.
5. Landscape the southern boundary from the following plant list:
  - Trees: Palo Verde, Velvet Mesquite (maintained to maximum height of 25 feet to retain views of Camelback Mountain). No deciduous varieties, like Desert Willow, which is currently specified.
  - Shrubs: A variety including Creosote Bush, Brittlebush, Texas Purple Sage, and Golden Eye.
6. Delay removal of plants between the southern fence and tanks until new shrubs and trees have matured sufficiently to provide visual screens of the tanks to Wilshire homeowners.
7. Consult with both neighborhoods regarding placement of plants, layout of sidewalk, and design of benches.

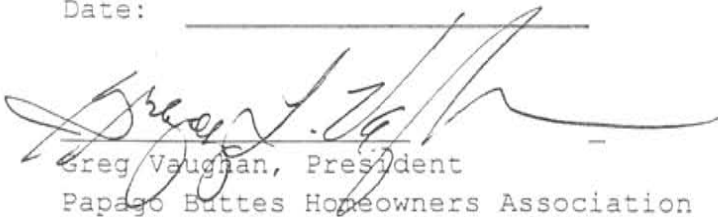
Signed:

 6/26/06

Billie Young, President

Sherwood Heights/Fairway Park/Heritage East Neighborhood Association

Date: \_\_\_\_\_



Greg Vaughan, President

Papago Buttes Homeowners Association

Date: \_\_\_\_\_

6/26/06

## Joint Neighborhood Recommendations

Neighborhood contacts regarding these recommendations are:

Mary Sue and Paul Ingraham  
6150 E. Cambridge  
Scottsdale, AZ 85257  
480-946-6792

Judie Scalise  
6222 E. Wilshire Dr.  
Scottsdale, AZ 85257  
480-941-4572

6150 E. Cambridge  
Scottsdale, AZ 85257

July 12, 2006

Development Review Board  
City of Scottsdale  
Scottsdale, AZ

RE: 14-DR-2006

Dear Members of the Development Review Board:

We appreciated the opportunity to meet this morning with three city staff members relating to the above-referenced case. We attended the meeting in our capacity as spokespersons for the Heritage East neighborhood (west of the facility) and the Papago Buttes neighborhood (south of the facility).

We have reviewed the proposed stipulations for the case and would like to suggest the following modifications:

**Architectural Design**

**Modified Stipulation #7: The new vehicular gate for the North 62<sup>nd</sup> Street driveway access, across from East Edgemont Street shall be opaque, sealed natural wood.**

*This language changes the gate design from painted green to natural wood, which reflects the neighbors' preference.*

**Modified Stipulation #9: The new interior chain link fence on the west side of the facility, east of the oleanders, shall be green vinyl coated.**

*This modified stipulation clarifies the specific fence that would be composed of this material and anticipates the new proposed stipulation, below, which would require the use of wrought iron fence for the southern boundary.*

**New Stipulation (#9a?): The fence along the southern boundary of the facility shall be black wrought iron, and the access gate between tanks 3 and 4, as depicted on the site plan, shall be black wrought iron.**

*This new proposed stipulation would reflect the preference of the Papago Buttes neighborhood to the south, as well as the Heritage East neighborhood to the west of the facility. The black wrought iron is aesthetically more appealing than chain link and repeats a design element from the Papago Buttes neighborhood's north wall.*

## Landscape Design

**Modified Stipulation #20:** The oleander hedge shall remain in place, shall be maintained and adequately irrigated by the City of Phoenix, and shall not be disturbed by the proposed improvements.

*This modified stipulation adds a requirement that the City of Phoenix adequately maintain and irrigate the oleanders that form the hedge on 62<sup>nd</sup> Street.*

**New Stipulation (#32a?):** The City of Phoenix shall maintain all interior landscape in the facility, in addition to the oleanders on the west side of the facility.

*This new stipulation would provide an overall responsibility to Phoenix for maintenance of the landscape denoted in the landscape plan.*

We appreciate your consideration of these proposed, modified stipulations. We will be happy to provide any further information that might be helpful to you in your consideration of these issues.

Sincerely,

Mary Sue Ingraham  
Resident, Heritage East neighborhood

Judie Scalise,  
Resident, Papago Buttes neighborhood

cc: Mr. Rob Millar, City Staff  
City of Scottsdale Development Review Board

**Amendments to Stipulations for Case:  
64<sup>th</sup> Street Reservoir – Security Improvements  
14-DR-2006  
August, 2006**

**New Stipulation:** The City of Phoenix shall retain as open space along the southern property line the area south of the new proposed fence and north of the Papago Buttes wall. Within this open space no permanent or temporary structures will be erected.

**Modified Stipulation #20:** The oleander hedge shall remain in place, shall be maintained and adequately irrigated by the City of Phoenix, and shall not be disturbed by the proposed improvements. Should any oleander plants die, they shall be removed and replaced with the same variety. The replacement plant shall be the maximum size that can be planted.

**Symer, Daniel**

---

**From:** Mary Sue [msingraham@cox.net]  
**Sent:** Friday, August 18, 2006 2:07 PM  
**To:** Symer, Daniel  
**Cc:** Millar, Rob; Judie Scalise; greg@vaughnconsulting.com; Paul H Smith  
**Subject:** Phx water facility; southern gate

Dan,

Thank you for your continued efforts on the Phoenix water facility project. I am writing to follow up on our previous brief discussion about the southern gate on 62nd Street, which is to be abandoned.

As I indicated to you, the idea emerged that, rather than leaving an unused, abandoned gate on 62nd Street and trying to disguise it from the west with plantings, it would be preferable to the neighbors to continue for that brief distance the north/south wall pattern of Papago Buttes, with a wall of that height, color and material continuing north of Papago Buttes for the distance to the current north end of the southern gate, at which point the wall would adjoin the oleander hedge.

Under this option, the southern gate would be removed, the asphalt driveway between 62nd Street and the gate would be removed, and plantings consistent with the other plantings west of the oleander hedge would be planted west of the wall extension.

This idea initially emerged with the neighbor in the northwest-most house of Papago Buttes, who lives immediately south of the gate in question. This issue seemed to be of great importance to that household. Greg Vaughn, who is the HOA president for Papago Buttes, has expressed agreement with the idea on behalf of that HOA, and our neighbors on 62nd Street have also expressed their agreement.

The following language is an attempt to put that suggestion into language for a proposed stipulation:

*Remove the southern gate on 62nd Street, replacing the length of that gate with a wall that is of the height, color and material of the north/south wall on the west side of Papago Buttes. The wall shall extend north from the Papago Buttes wall on 62nd Street, replacing the southern gate, and shall adjoin the oleander hedge to the north. The asphalt driveway west of the southern gate shall be removed, and the sidewalk on the east side of 62nd Street shall be extended to adjoin the sidewalk west of Papago Buttes. Landscaping west of the wall shall continue the landscaping pattern west of the oleander hedge.*

I hope this adequately describes what the neighbors have in mind. Please let me know if I need to tweak the language or provide further explanation.

We appreciate all of the efforts of city staff to work with our neighborhoods.

Thank you,  
Mary Sue Ingraham

**ATTACHMENT #17**

09/10/2006

Vice-Chairman Jones commented that he could see the beginning of interesting design on the entry, but it needed more work. He reviewed positive and negative aspects of the entry design. Vice-Chairman Jones noted that part of the problem is Scottsdale Healthcare has set expectations for a certain standard of quality that has not been met with this project yet. Mr. Brinkley noted that one of the stipulations from staff was to redesign the entry element.

**COMMISSIONER STEINBERG MOVED TO APPROVE 41-DR-2006. THE MOTION DIED FOR LACK OF A SECOND.**

**VICE-CHAIRMAN JONES MOVED TO CONTINUE CASE 41-DR-2006. SECONDED BY BOARD MEMBER D'ANDREA, THE MOTION CARRIED BY A VOTE OF SIX (6) TO ONE (1). COMMISSIONER STEINBERG DISSENTED.**

Councilwoman Drake commented in reviewing the landscape plan along the neighborhood side it appeared that trees had been placed there, she suggested a few more trees could be added to fill in the gaps.



15. 14-DR-2006 64th Street Reservoir - Security

Councilwoman Drake reminded the Board that there was a request for continuance on this case which involved several neighborhood groups and the City of Phoenix.

Vice-Chairman Jones suggested that along Thomas Road there may be an opportunity to have the existing barrier that is in the middle of the block turned into the recess between the two tanks, which may add some variety. This could create a landscape area or some visual relief along Thomas Road.

**VICE-CHAIRMAN JONES MOVED TO CONTINUE CASE 14-DR-2006. SECONDED BY BOARD MEMBER SCHMITT, THE MOTION CARRIED UNANIMOUSLY BY A VOTE OF SEVEN (7) TO ZERO (0).**

16. 17-DR-2006 68th Street & Thomas Road

Mr. Symer addressed the Board. Highlights of his presentation included a contextual aerial photo and a photo depiction of each corner of the intersection. He identified three primary key issues with the proposal: building orientation, setbacks to Thomas Road, and the location of the trash enclosure. It is the general policy of the City to encourage buildings to line up with the setback line adjacent to intersections in the urban environment in order to promote and enhance the human scale of development. Staff recommended denial of the application.

Mr. David Ross with Ross Design Group addressed the Board. He reviewed the history of the site and the various design changes that have been considered. Mr. Ross cited technical reasons for the current design and color choices and proposed placing landscaping around the trash enclosure. He noted that the individual archways and tower elements were used in order to mimic the Design Center style of architecture.



City of Phoenix  
Water Services Department

September 12, 2006

**Development Review Board**

City of Scottsdale  
7447 East Indian School Road  
Scottsdale, AZ

Dear Members of the Development Review Board:

**Reference: City of Phoenix 64<sup>th</sup> Street Reservoir -Security Improvements  
14-DR-2006**

We want to thank the residents neighboring the subject property and the City of Scottsdale for their collaboration and involvement in the review of this project. Our objective is to work together with all involved to improve this site for Scottsdale and its residents. We are also charged to protect and secure this key water facility which provides water storage for both the City of Phoenix and the City of Scottsdale. As you are aware, the scope of this project is to provide security improvements, including construction of new perimeter fences and walls adjacent to East Thomas Road, North 62<sup>nd</sup> Street and the south property line. In addition, the project includes installation of electronic security monitoring for the site perimeter and internal buildings. We anticipate these improvements will also result in the need for a reduced police response to the site in the event of trespassing or a breach in security. Since this site is located within the city of Scottsdale, Scottsdale Police has jurisdiction in responding; a more secure site will better put police resources to use elsewhere.

During this public project review process, the City of Phoenix has listened and carefully considered every stipulation. We are committed to being a good neighbor, and as such we have incorporated the majority of the stipulations. However, our review indicates that four of the stipulations will diminish the security of the facility. Accordingly, we respectfully request your reconsideration of these four stipulations. Our proposed modifications follow:

**Stipulation #5** states that: *Barbed wire, razor wire, razor ribbon, concertina wire or similar shall not be utilized.*

The barbed wire is an integral part of the security system. It provides a visual deterrent and a physical deterrent. The proposed fences at this site are not adjacent to any areas accessible to the public, so accidental injury is not possible. The barbed wire on the 62<sup>nd</sup> Street fence will not be visible at all as it is behind the oleanders. The barbed wire on the south fence will not be visible due to the distance from the property line and the proposed landscape screening. We request a waiver from this standard stipulation to ensure adequate security for the site.

**Stipulation #9** states that: *The fence along the southern boundary of the facility shall be black wrought iron, and the access gate between tanks 3 and 4, as depicted on the site plan, shall be black wrought iron.*

Wrought iron fencing does not meet City of Phoenix Water Services Department (WSD) security requirements because it will not offer the same level of protection and intrusion detection. Wrought iron fencing is being removed from other City of Phoenix WSD sites. We suggest that a vinyl coated chain-link fence with a landscaping screen will have the least visible impact for the south property owners. There are two major advantages with the use of a chain-link security fence: the security components are integral to the fence and the routing can be flexible without impacting the security. We suggest the fence routing could be adjusted between tanks 3 and 4 and moved closer to the tanks, reducing the visibility in this area that is impacted by the access road and gate, which will have less vegetation. Enclosed is a sketch showing this option.

Should the chain-link fence not be acceptable, the City would be agreeable to install a block (CMU) fence. However, if this fence were to be installed, it would be necessary to install it 15 feet closer to the south property line to provide room for the installation of additional security equipment inside the fence. The impact of moving the fence closer to the property line is increased visibility and no space at the retention basin to install landscape screening. It is also not possible to adjust the location of the fence between tanks 3 and 4, as discussed in the option above, so the fence may be visible near the access road as well as the retention basin. Enclosed is a sketch showing this option.

We request that the Development Review Board delete this stipulation and accept the proposed design for a vinyl coated chain link fence to secure the south boundary of the site. We believe that this option will provide the highest level of site security, while having the least impact to the neighboring residents.

**Stipulation #13** states that: *The applicant shall provide three concrete benches evenly spaced between Edgemont Avenue and Wilshire Drive and separated from the sidewalk. The benches shall be angled toward Camelback Mountain, and shall be placed on concrete pads that connect to the sidewalk. The pads shall be large enough to accommodate wheel chair movement and sufficient room to include a wheel chair rest area adjacent to the bench. The bench, pad and locations design shall be subject to the approval of the Planning and Development Services General Manager or Designee.*

Construction of benches along 62<sup>nd</sup> Street is not acceptable to City of Phoenix as it lowers site security. Benches will promote loitering adjacent to this major water facility, which increases security risks. Therefore, we request that this stipulation be deleted.

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The following modification to **Stipulation #31** is requested: *All landscaping in the interior of the facility, visible to the public, that is to be planted and/or is to remain in place, including the oleanders, shall be maintained in a healthy condition. The owner shall replace any shrub, tree, cactus, that dies as determined by the Zoning Administrator.*

This modified stipulation maintains the intent, but clarifies that only the landscaping visible to the public is subject to the stipulation.

Thank you for your consideration of our concerns. We would be happy to provide any additional information as necessary.

Sincerely,

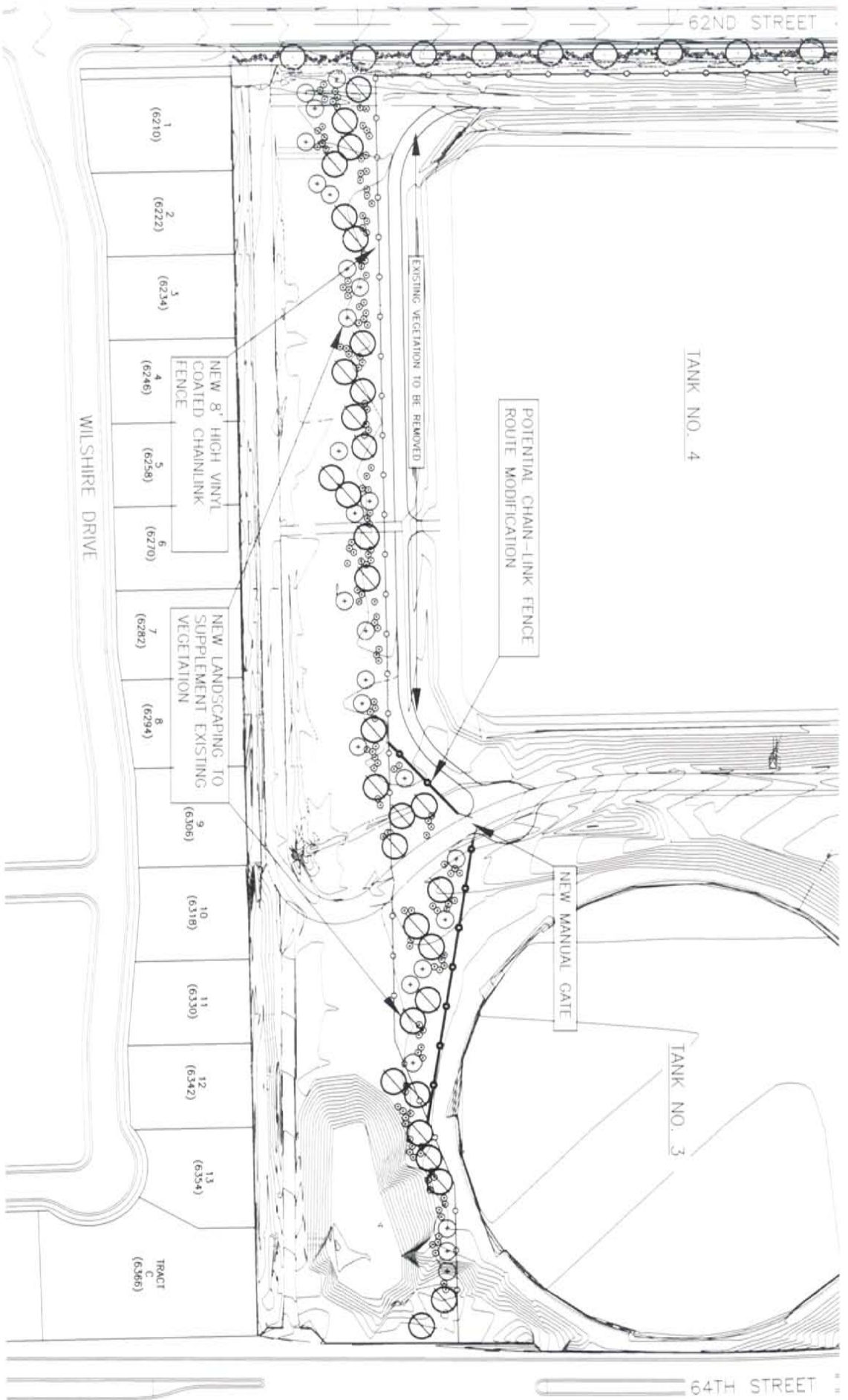
A handwritten signature in black ink, appearing to read "Tammy J. Perkins". The signature is fluid and cursive, with a long horizontal stroke at the end.

Tammy J. Perkins  
Acting Water Services Director

Enclosures

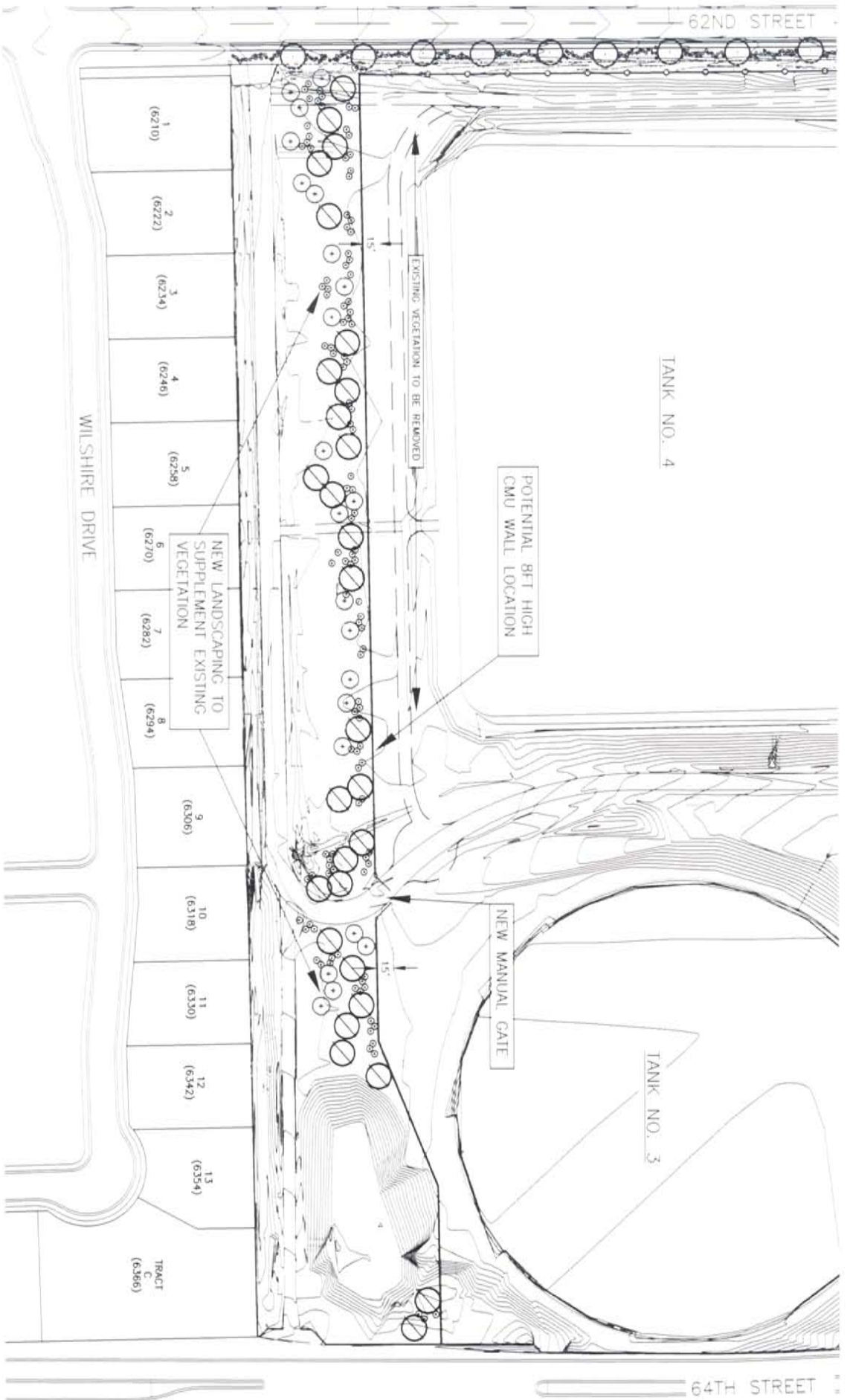
TJP:CP:cw:ScottsdaleRB0906

c: David Cavazos, Deputy City Manager  
Carlos Padilla, WSD  
Aimée Conroy, WSD  
Commander William C. Campbell  
Matt Woodland, WSD  
Tricia Cook, Stantec Consulting



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